

RE-ROOF AND WINDOW REPLACEMENT FOR: CITY OF MILWAUKEE SANITATION FACILITY

2363 SOUTH 35TH STREET
MILWAUKEE, WI 53215

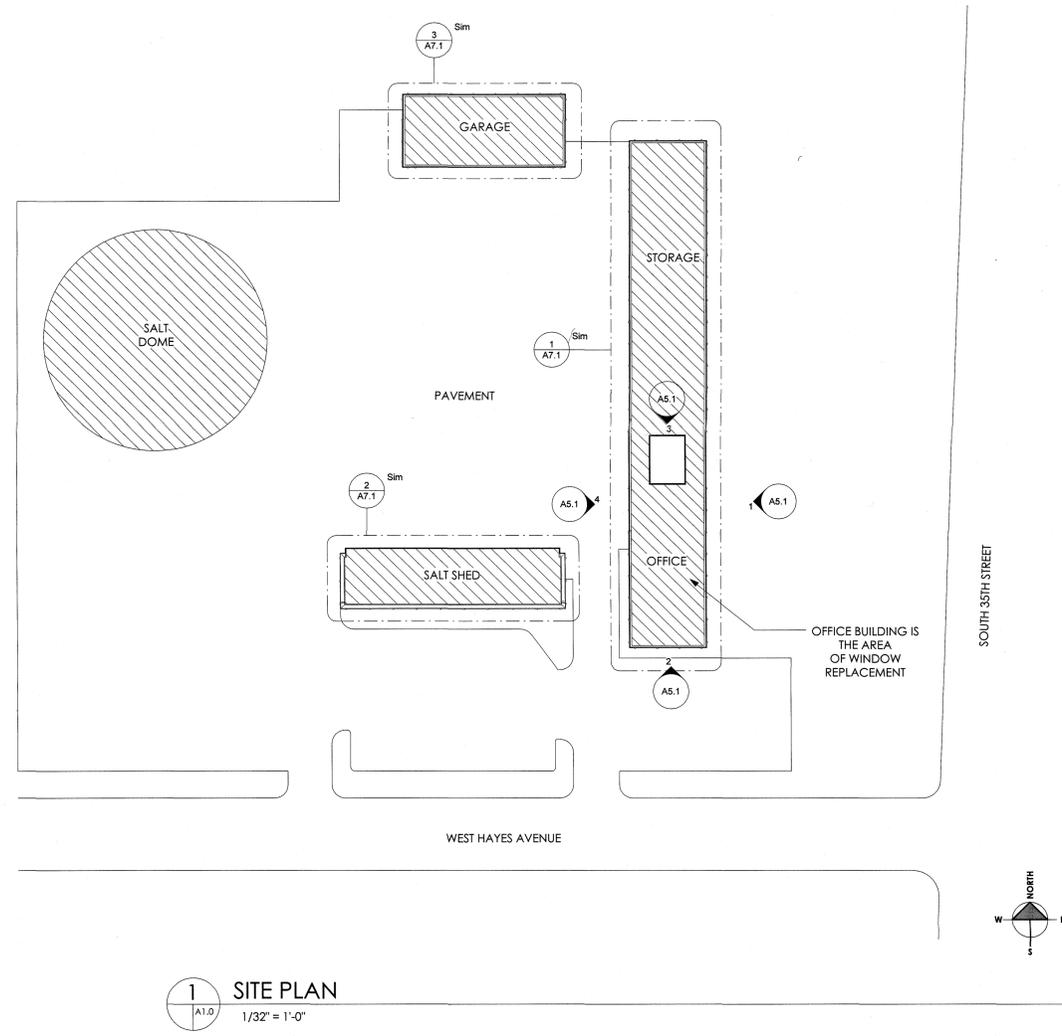
GROTH DESIGN GROUP
N58 W6181 COLUMBIA RD.
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CEDARBURG, WISCONSIN 53012
PH. (262) 377-8001
FX. (262) 377-8003
8517 EXCELSIOR DRIVE
SUITE 113
MADISON, WISCONSIN 53717
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SHEET INDEX

- Architectural
A1.0 TITLE SHEET, SHEET INDEX, LOCATION MAP
- Architectural
A5.1 OFFICE WNDW/DR REPLACEMENT
A7.1 ROOF PLAN

PROJECT ABBREVIATION LIST

AB	ANCHOR BOLT	FCIO	FURNISHED BY CONTRACTOR	NA	NOT APPLICABLE	T	TREAD
ACOUS	ACOUSTICAL	FD	FLOOR DRAIN	NIC	NOT IN CONTRACT	T&G	TONGUE AND GROOVE
ACT	ACOUSTICAL CEILING TILE	FDN	FOUNDATION	NO	NUMBER	TB	TOWEL BAR
ADA	AMERICAN DISABILITY ACT	FE	FIRE EXTINGUISHER	NOM	NOMINAL	TEL	TELEPHONE
ADOL	ADDITIONAL	FEC	FIRE EXTING. CABINETS	NIS	NOT TO SCALE	TEMP	TEMPORARY
ADJ	ADJUSTABLE	FIN	FINISH	OC	ON CENTER	THK	THICKNESS
AFI	ABOVE FINISH FLOOR	FLR	FLOOR	OD	OUTSIDE DIAMETER	THRU	THROUGH
ALT	ALTERNATE	FOB	FACE OF BRICK	OPNG	OPENING	TOP	TOP OF
APPROX	APPROXIMATE	FOC	FACE OF CONCRETE	OPP	OPPOSITE	TOW	TOP OF WALL
		FOF	FACE OF FINISH	OPHD	OVERHEAD	TYP	TYPICAL
		FOM	FACE OF MASONRY	OPPH	OPPOSITE HAND		
		FOS	FACE OF STUDS			UNFN	UNFINISHED
		FOIC	FURNISHED BY OWNER	P	PAINT	UNO	UNLESS NOTED OTHERWISE
		FPL	FINISH PLACE	PERF	PERFORATED	UTIL	UTILITY
		FT	FOOT, FEET	PERM	PERMANENT	VCT	VINYL COMPOSITION TILE
		FIG	FOOTING	PERP	PERPENDICULAR	VER	VEHICLE
		FURN	FURNITURE	PL	PROPERTY LINE	VERT	VERTICAL
		GA	GASE	PLAM	PLASTIC LAMINATE	VIN	VINYL
		GALV	GALVANIZED	PK	PLYWOOD	VT	VINYL TILE
		GB	GRAB BAR	PR	PRECAST	WJ	WITH
		GEN	GENERAL	PRCST	PRECAST	W/O	WASHER/DRYER
		GL	GLASS	PREFAB	PREFABRICATED	W/O	WITHOUT
		GLU LAM	GLUE LAMINATED	PRELIM	PRELIMINARY	WC	WATER CLOSET
		GOVT	GOVERNMENT	PKG	PARKING	WB	WOOD
		GYP	GYPSON	PROJ	PROJECT	WDW	WINDOW
		GWB	GYPSON WALL BOARD	PROP	PROPERTY		
				PSI	POUNDS PER SQUARE INCH		
				PT	PRESSURE TREATED		
				QTY	QUANTITY		
				QU	QUARRY TILE		
				R	RISER		
				RAD	RADIUS		
				RC	RESILIENT CHANNEL		
				KCP	REFLECTED CEILING PLAN		
				RD	ROOF DRAIN		
				REF	REFERENCE		
				REFR	REFRIGERATOR		
				REIN	REINFORCE		
				REQD	REQUIRED		
				RESL	RESILIENT		
				REV	REVISION		
				RFG	ROOFING		
				RM	ROOM		
				RO	ROUGH OPENING		
				ROW	RIGHT OF WAY		
				SCHED	SCHEDULE		
				SD	STORM DRAIN		
				SF	SQUARE FOOT		
				SHT	SHEET		
				SHG	SHEATHING		
				SHV	SHELVES		
				SI	SQUARE INCH		
				SIM	SIMILAR		
				SP	STANDPIPE		
				SPEC	SPECIFICATION		
				SPKR	SPEAKER		
				SQ	SQUARE		
				SS	SANITARY SEWER		
				SST	STAINLESS STEEL		
				STC	SOUND TRANSMISSION		
				CLASS	CLASS		
				STL	STEEL		
				STOR	STORAGE		
				STRUCT	STRUCTURE		
				SUSP	SUSPENDED		
				SYS	SYSTEM		



1 SITE PLAN
1/32" = 1'-0"

CONSULTANTS

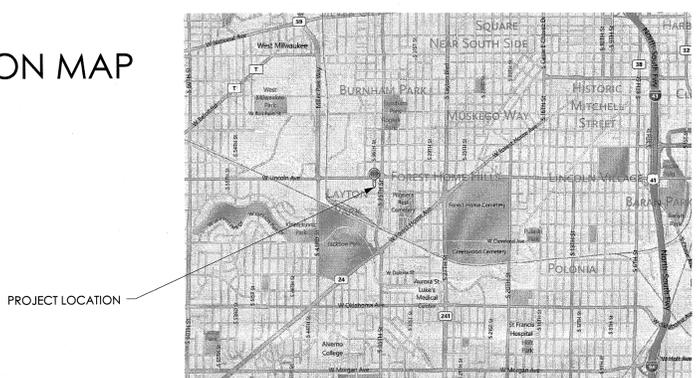
- ARCHITECTURAL
- GROTH DESIGN GROUP
N58 W6181 COLUMBIA ROAD
CEDARBURG, WISCONSIN 53012
PH. (262) 377-8001
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- STRUCTURAL - SALT SHED ROOF STRUCTURE
- AMBROSE ENGINEERING
W66 N215 COMMERCE CT.
SUITE #100
CEDARBURG, WISCONSIN 53012
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- GENERAL NOTES:
- ALL WORK UNDER THIS CONTRACT SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL LOCAL CODES, ORDINANCES AND REGULATIONS OF THE GOVERNMENT AUTHORITIES HAVING JURISDICTION.
 - CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED TO PERFORM WORK IN ACCORDANCE WITH REQUIREMENTS AND PROCEDURES OF ANY AND ALL AUTHORITIES HAVING JURISDICTION.
 - CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND COORDINATES. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS.
 - CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS AND NOTIFY THE ARCHITECT OF ANY CONCERNS PRIOR TO STARTING WORK.
 - DO NOT SCALE THE DRAWINGS. IF A CONTRADICTION OCCURS WITHIN THE CONTRACT DOCUMENTS OR INFORMATION IS UNCLEAR, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION.
 - CONTRACTOR SHALL COORDINATE WITH THE WORK OF OTHERS NOT INCLUDED IN THIS CONTRACT AS DIRECTED BY THE OWNER.
 - ALL PLAN DIMENSIONS ARE TO FACE OF MASONRY VENEER OR FACE OF WALL FINISH, U.N.O.
 - ALL VERTICAL DIMENSIONS TO BE ABOVE FINISH FLOOR (A.F.F.) U.N.O.
 - THE WORD ALIGN AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
 - ALL DOORS USED IN CONJUNCTION WITH EXITS SHALL BE ARRANGED TO READILY OPEN WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE FROM THE SIDE OF EGRESS.

SYMBOL KEY

①	COLUMN REFERENCE SYMBOL	⊕	DETAIL SYMBOL
⊕	ELEVATION REFERENCE SYMBOL	▽	BUILDING ENTRY SYMBOL
⊕	EXTERIOR ELEVATION SYMBOL	ROOM NAME	ROOM TAG
⊕	INTERIOR ELEVATION SYMBOL	DOOR	DOOR TAG
⊕	BUILDING SECTION SYMBOL	1	WINDOW TAG
⊕	ENLARGED AREA SYMBOL	⚠	REVISION TAG
		↑	NORTH ARROW

LOCATION MAP



APPROVED:

Sharon E. Pankovich for DP 11/4/11
SUPERVISOR IN CHARGE

Vernice G. Goffe 11-4-2011
DIRECTOR

Paul A. Cole 11/4/2011
COMMISSIONER OF PUBLIC WORKS

ARCHITECTURAL SEAL



PROJECT NAME
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CITY OF MILWAUKEE SANITATION FACILITY
2363 SOUTH 35TH STREET
MILWAUKEE, WI 53215

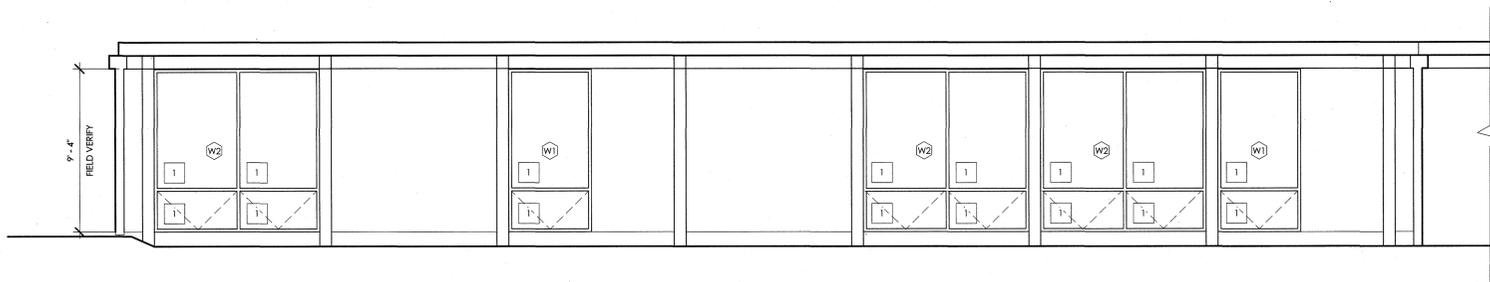
ISSUE

NO.	REV. DATE	DESCRIPTION

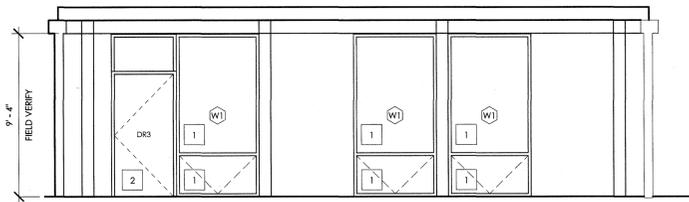
PROJECT INFO
Date: 10.18.11
Project No.: 11 032.2
Drawn by: JAH
SHEET TITLE: TITLE SHEET, SHEET INDEX, LOCATION MAP
As Indicated
SHEET NUMBER

A1.0

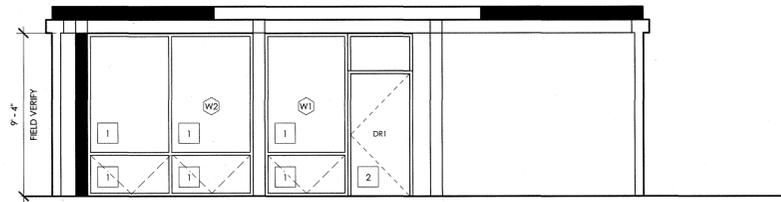
BID DOCUMENTS



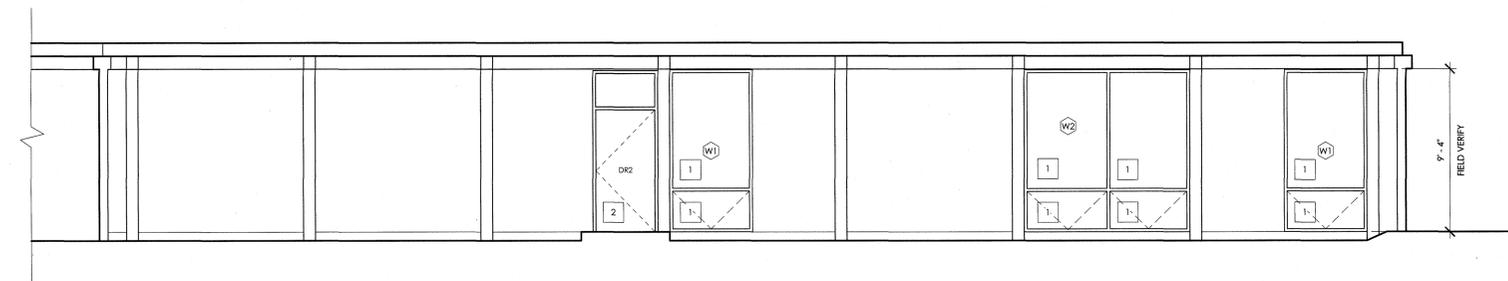
1 EAST OFFICE ELEVATION
 1/4" = 1'-0"



2 SOUTH OFFICE ELEVATION
 1/4" = 1'-0"



3 NORTH OFFICE ELEVATION
 1/4" = 1'-0"

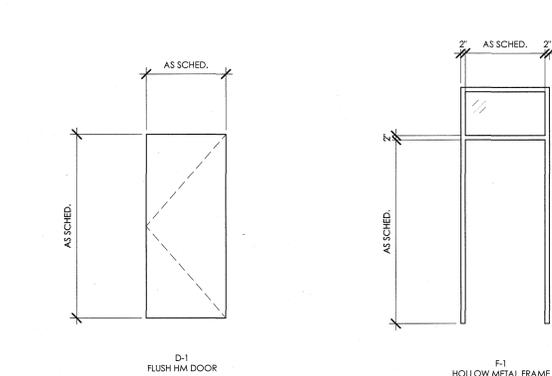


4 WEST OFFICE ELEVATION
 1/4" = 1'-0"

DOOR SCHEDULE													
Door Number	Type	Door						Frame				Comments	
		Width	Height	Thickness	Material	Finish	Hardware	Type	Material	Finish	Jamb		Head
DR1	D-1	3'-4"	7'-0"	1 3/4"	HM	PT	HW-1	F-1	HM	PT	12/A5.1 14/A5.1	11/A5.1	SEE SPECIAL JAMB CONDITION AT STOREFRONT
DR2	D-1	3'-4"	7'-0"	1 3/4"	HM	PT	HW-1	F-1	HM	PT	12/A5.1	11/A5.1	
DR3	D-1	3'-4"	7'-0"	1 3/4"	HM	PT	HW-1	F-1	HM	PT	12/A5.1 14/A5.1	11/A5.1	SEE SPECIAL JAMB CONDITION AT STOREFRONT

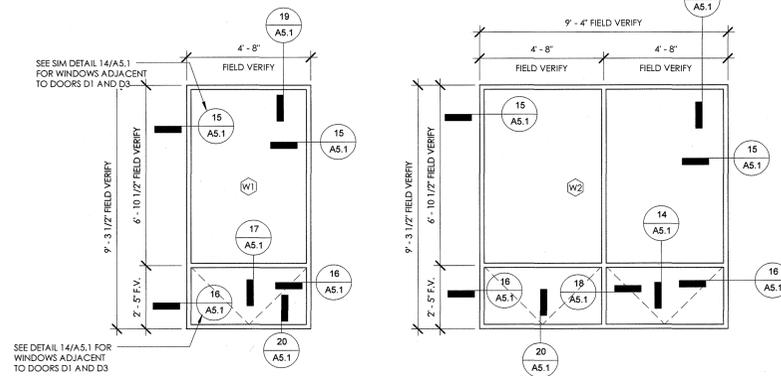
HW-1: REPLACE ALL EXISTING HARDWARE- MATCH EXISTING HARDWARE SYLE, FINISH, FUNCTION, GRADE, AND MODEL- KEY TO MATCH EXISTING

WINDOW SCHEDULE						
Type Mark	Size: Field Verify All		Manufacturer	Model	Material	Finish
	Width	Height				
W1	4'-8"	9'-3 1/2"			AL	ANOD
W2	9'-4"	9'-3 1/2"			AL	ANOD



DOOR TYPES
 3/8" = 1'-0"

FRAME TYPES
 3/8" = 1'-0"

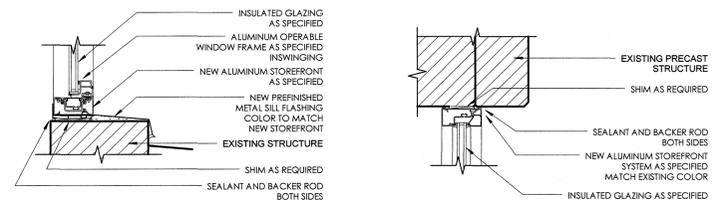


5 WINDOW TYPES
 3/8" = 1'-0"

KEY NOTES - ELEVATIONS	
TAG #	DESCRIPTION
1	EXISTING ALUMINUM WINDOW TO BE REPLACED
2	EXISTING HOLLOW METAL DOOR AND FRAME TO BE REPLACED

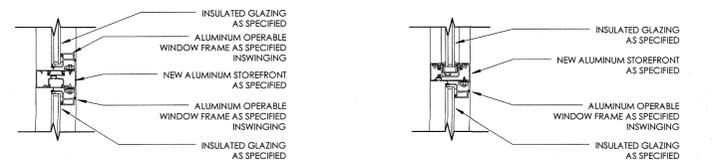
NOTE:
 CONTRACTOR TO VERIFY ALL EXISTING WINDOW AND DOOR ROUGH OPENINGS BEFORE FABRICATING NEW WINDOWS AND DOOR FRAMES FOR INSTALLATION

ALL WINDOW AND DOOR REPLACEMENT WORK TO BE BID AS ALTERNATE NO. 1



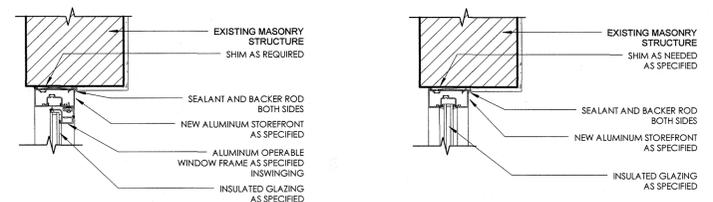
20 DETAIL- SILL
 1 1/2" = 1'-0"

19 DETAIL- HEAD
 1 1/2" = 1'-0"



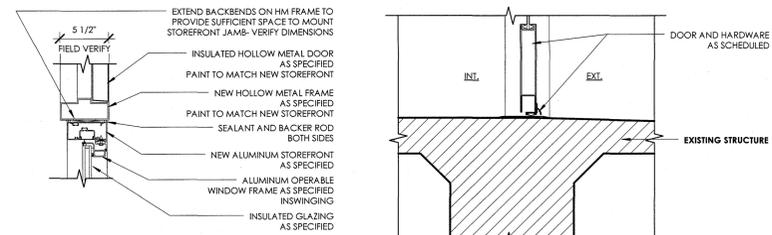
18 DETAIL- VERT MULLION
 1 1/2" = 1'-0"

17 DETAIL- HORIZ MULLION
 1 1/2" = 1'-0"



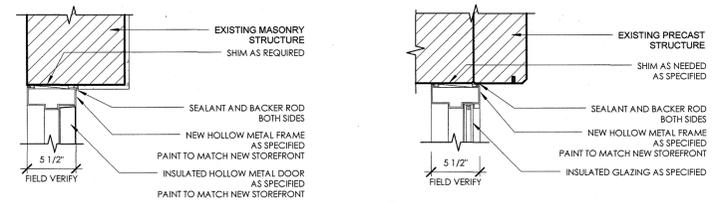
16 DETAIL- JAMB
 1 1/2" = 1'-0"

15 DETAIL- JAMB
 1 1/2" = 1'-0"



14 DETAIL- JAMB
 1 1/2" = 1'-0"

13 DETAIL- THRESHOLD
 1 1/2" = 1'-0"



12 DETAIL- JAMB
 1 1/2" = 1'-0"

11 DETAIL- HEAD
 1 1/2" = 1'-0"



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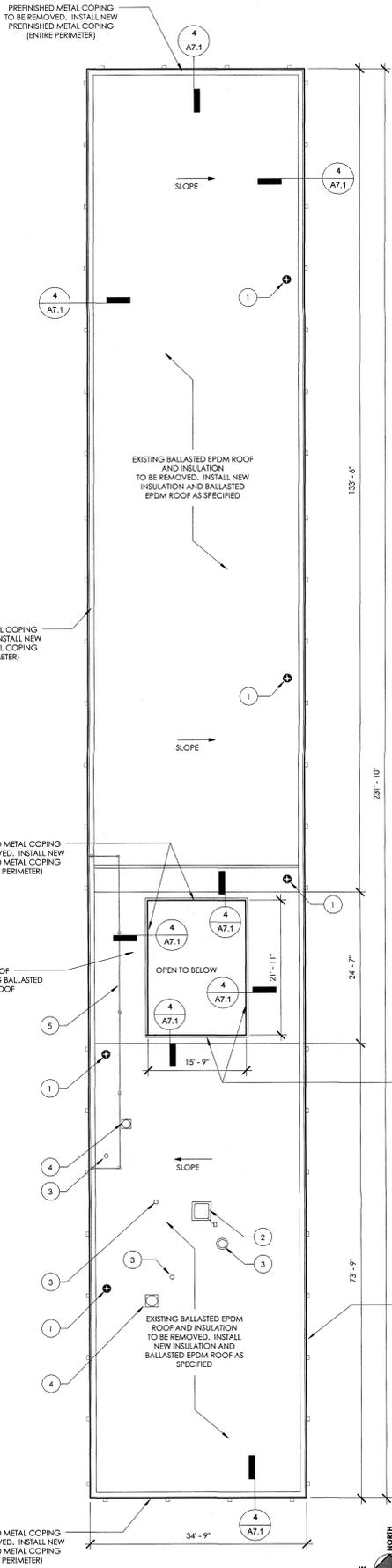
SHEET TITLE
 OFFICE WNDW/DR REPLACEMENT

As Indicated

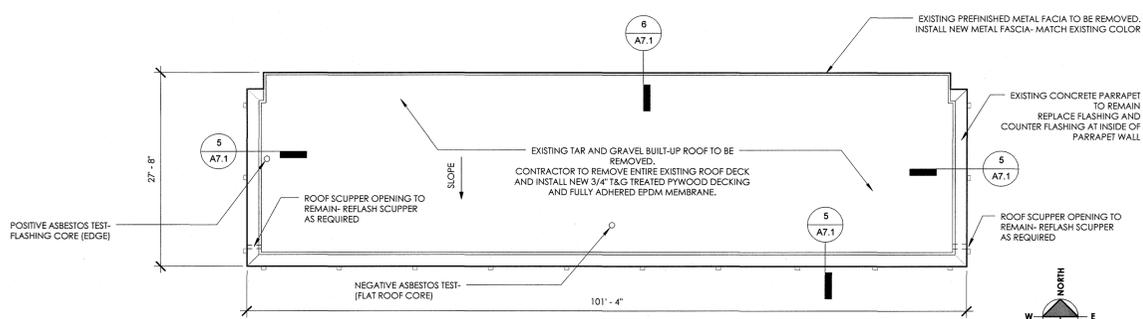
SHEET NUMBER

A5.1

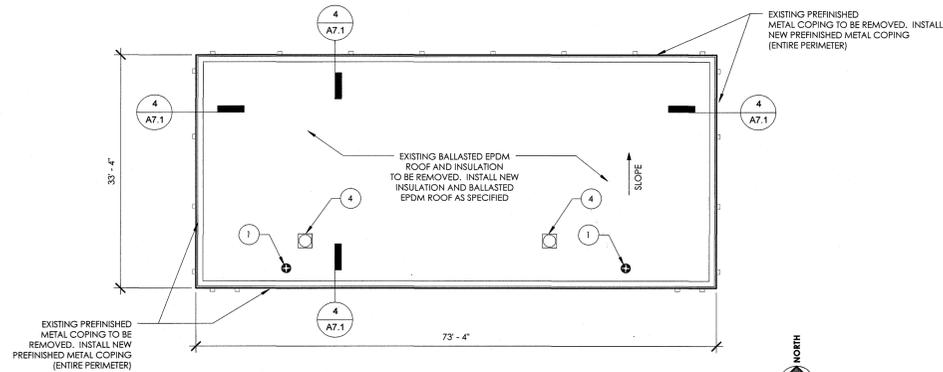
BID DOCUMENTS



1 ROOF PLAN- OFFICE/STORAGE
A1.0 A7.1
1" = 10'-0"



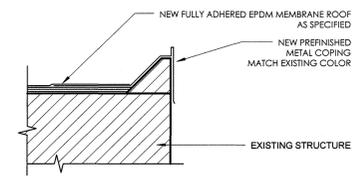
2 ROOF PLAN- SALT SHED
A1.0 A7.1
1" = 10'-0"



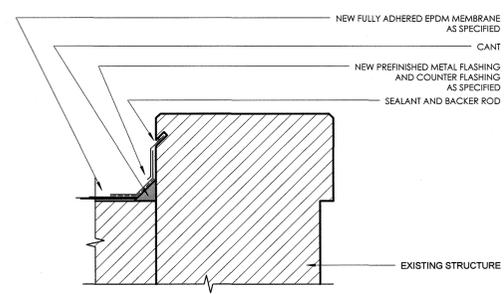
3 ROOF PLAN- GARAGE
A1.0 A7.1
1" = 10'-0"

- ROOF PLAN GENERAL NOTES:**
- CONTRACTOR SHALL COORDINATE ROOFING INSTALLATION WITH CURBING AND FLASHING AS REQUIRED AT ROOF PENETRATIONS TO MAINTAIN INTEGRITY OF ROOF MEMBRANE.
 - ALL GRAVEL STOPS AND COPINGS TO HAVE CONTINUOUS HOLD-DOWN CLIPS.
 - PROVIDE TAPERED EDGE STRIPS AS NECESSARY AT ROOF EDGES.
 - ALL ROOF PENETRATIONS AND EQUIPMENT CURBS TO BE FLASHED PER MANUFACTURER'S REQUIREMENTS.

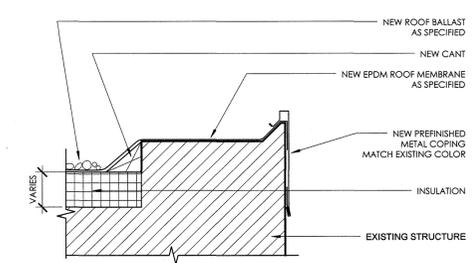
KEYED ROOF PLAN NOTES	
TAG #	DESCRIPTION
1	EXISTING ROOF DRAIN
2	EXISTING AC UNIT
3	EXISTING ROOF VENT
4	EXISTING ROOF VENT ON CURB
5	EXISTING PIPE MOUNTED ON BLOCKS ON TOP OF ROOF



6 ROOF EDGE DETAIL - SHED COPING
A7.1 A7.1
1 1/2" = 1'-0"



5 ROOF EDGE DETAIL - SHED WALL
A7.1 A7.1
1 1/2" = 1'-0"



4 ROOF EDGE DETAIL - GARAGE
A7.1 A7.1
1 1/2" = 1'-0"



**GROTH
DESIGN
GROUP**

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ISSUE

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Date	10.18.11
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Drawn By	JAH
SHEET TITLE	ROOF PLAN
As Indicated	
SHEET NUMBER	

A7.1

BID DOCUMENTS