



Department of Public Works
Infrastructure Services Division
Bridges and Buildings

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October 26, 2016

Subject: Official Notice No. 117-1-2016

Police Administration Building, 3rd Floor
Demolition & Asbestos Abatement
749 West State Street
Milwaukee, Wisconsin

For which bid will be received on
Thursday, October 27, 2016

Addendum No. 2

- A. In regard to our advertisement for the Police Administration Building, 3rd Floor, Demolition & Asbestos Abatement, located at 749 West State Street, Milwaukee, Wisconsin this attached Addendum No. 2 is issued to modify the original documents and is hereby made part of the proposal.
- B. Each bidder shall read the entire addendum. Proposals shall include all items included in this Addendum No. 2.

Very truly yours,

Craig S. Liberto, P.E.
Engineer in Charge, Bridges and Buildings Section



Official Notice No. 117-1-2016

Police Administration Building, 3rd Floor
Demolition & Asbestos Abatement
749 West State Street
Milwaukee, Wisconsin

Addendum No. 2

Immediately upon receipt of the addendum, please sign this receipt and return to DPW Infrastructure Services – Bridges and Buildings by email to Daniel Pitts (dpitts@milwaukee.gov) or Fax to (414) 286-5907.

Company Name

Name

Date



ADDENDUM No. 2

October 26, 2016

Official Notice No. 117-1-2016

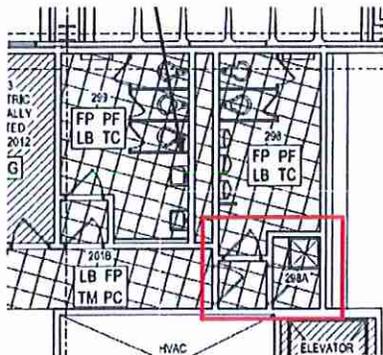
Police Administration Building, 3rd Floor
Demolition & Asbestos Abatement
749 West State Street
Milwaukee, Wisconsin

CLARIFICATIONS (ANSWER TO BIDDER QUESTIONS)

1. On the 2nd floor bathroom abatement (208A). Does the entire 2nd floor bathroom sections need to be completed in a weekend? Or can the area be divided up into multiple areas and completed over a couple weekends?

A.C. SHALL ABATE 2ND FLOOR TOILET ROOMS BEFORE ABATEMENT OF 3RD FLOOR TOILET ROOMS. A.C. SHALL EXECUTE 2ND FLOOR TOILET ROOM WORK BETWEEN 4PM ON FRIDAY AND 8AM ON TUESDAY.

2. Hatching of area below shows that all ACM shall be removed in this space. But on drawing M-3 there are no notations of materials requiring removal as there are in the adjacent spaces. What is required for abatement in this area?



A.C. SHALL REMOVE AND DISPOSE OF ALL EXISTING CEILING CONSTRUCTION, FIREPROOFING MATERIAL, INSULATION, AND MASTIC FROM PLUMBING AND MECHANICAL SYSTEMS.

3. Will it be required to add aluminum break panels to areas that have been previously abated?

YES.

4. Can aluminum break panels be added after abatement activities? If so will it require a containment during installation?

MEANS AND METHODS.

5. Walls in the 3rd floor corridor (M-4) require removal of the top three courses of block per the specification. Will there be any requirements to re-enforce or brace the walls after the block is removed?

NO.

6. Will all IT lines to be disconnected by the City of Milwaukee prior to removing the raised floor?

YES.

7. Will the contractor be required to remove existing bulkheads from the prior phase of abatement or leave them in place?

REMOVE.

8. What action should be taken by the contractor when coming across new spray-on insulation? Will the contractor be required to remove it or leave it intact?

REMOVE.

9. In referencing Note #9 on drawing M-1: "AC shall remove and dispose of all existing perimeter gypsum wall board, rigid insulation & mastic adhesive on inside face of existing exterior precast concrete wall panels". Have these materials been tested? If so, are any of these materials asbestos containing or not?

REMOVE AS ACM.

10. Does ceramic tile need removal if not identified on sheet M-4? Sheet M-1 states that all of this material should be removed. For example sheet M-4 does not include all the rooms as having this material.

REMOVE. MATERIALS TYPICALLY FOUND IN TOILET ROOM AND CUSTODIAL CLOSETS ONLY.

11. Note #13 & #14 on sheet M-1. Why not have the GS perform infill? Take out HVAC in ceiling bathroom; AC then plugs them (A-600)?

PLANS AND SPECIFICATION SHALL BE FOLLOWED.

12. What action should be taken if floor tile/mastic is identified beneath door frames that are identified to remain?

NONE.

13. Sheet M-1, Note #29 - pneumatic lines: Where and how do we access these materials? Can these lines be accessed on the 2nd floor?

REFER TO SHEET A-7, COLUMN LINE 21.

14. Regarding the main corridor ducts on the 3rd floor, do you require complete removal of all ducting?

YES, COMPLETELY REMOVE DUCT AS SPECIFIED.

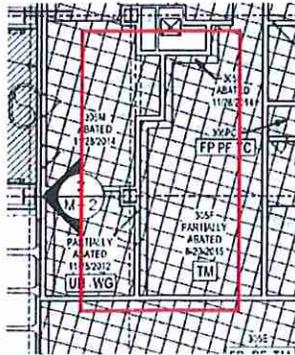
15. Does the 50 days of completion (Work Schedule) including the actual start date; include the 10 working day permit (NESHAP Permit) waiting period?

NO

16. As identified in the project specification, security clearances will be required to enter and work in the building. The specification states that all submitted clearances will have a turn-around of 48 hours. Will the City be able to turn the clearance approvals around within a 48 hour period? There is a 40% RPP requirement on this project and in the past project there has been a lengthy response.

YES. CONTACT DPW CONTRACT OFFICE REGARDING RPP PROCESS.

17. On Sheet M-4 there is an existing wall on the west side of the 3rd floor. Will the wall require any work related activity?



YES, PER PLANS AND SPECIFICATIONS.

18. Pipe fittings. There are no quantities given in the bid documents. How will unit price add/deducts be determined for Unit Price 3&4 when the bid documents do not contain any quantities?

EXISTING DRAWINGS PROVIDED FOR ESTIMATION PURPOSES.

19. Asbestos Pre-Renovation Inspection. To file the DNR Notification, the abatement contractor will need a copy of the pre-renovation inspection with the name of the licensed asbestos inspector and date of inspection. Is a copy of the inspection report available?

YES, DOCUMENT SHALL BE PROVIDED IMMEDIATELY TO SUCCESSFUL BIDDER.

20. General Notes 14. States: "A.C. shall complete floor core infill detail, see B1/A600." B1 States: "6" DIA x 5 1/2" Tall sheet metal closure by HVAC Contractor". Will The HVAC contractor be installing the metal closure and A.C. only be responsible for filling with light weight concrete?

REVISE SHEET M-1, GENERAL NOTE 14 TO READ:

G.C. SHALL COMPLETE FLOOR CORE INFILL DETAIL, SEE B1/A600, TO PLUG AND SEAL FLOOR PENETRATIONS LEFT AFTER REMOVAL OF ALL EXISTING PERIMETER HVAC CABINETS WHILE SYSTEM IS SHUT OFF. G.C. SHALL COORDINATE THIS WORK WITH OWNER AND A.C.

21. Unit Price #9. Price per square foot for concrete block walls as asbestos containing materials. Are all concrete block walls to be disposed of as ACM? Can the block be disposed of as C&D if they are clean of any ACM materials?

YES, MEANS AND METHODS.

22. Can acoustical ceiling tiles be disposed of as C&D if they are clean of any settled particulates?

MEANS AND METHODS.

23. How much space will be made available for disposal dumpster? Will there be room for multiple dumpsters, 2 or 3 at a time?

YES, REFER TO SHEET M-1.

24. Work By Others: Professional air monitoring. Who will be performing the air sampling and clearances?

PROPOSAL FOR PROFESSIONAL AIR MONITORING (BY OTHERS) IS DUE ON October 27, 2016.

END OF ADDENDUM #2